



Linenfield a tapestry for living



Linenfield

*A house is made of bricks and
beams. A home is made of hopes
and dreams*



Linenfield - a tapestry for living

Linenfield is an exceptional development of new 3 & 4 bedroom homes which surpass all standards of build, finishes and efficiency.



Nestled in idyllic countryside, minutes to Drogheda centre and only half an hour from Dublin, Linenfield offers more than a house but a place to truly call home.

Connectivity

Linenfield is located within one of Drogheda's most exclusive and established communities, Ballymakenny Road. Just a few minutes from Drogheda town centre and the M1 motorway.



If you don't want to drive, there are buses every 15 minutes



17 trains daily to Dublin



A highly connected location

Lifestyle



Living

The amazing natural beauty of the area about Linenfield will make you want to get out and get active. Imagine leisurely walks along the historic River Boyne or a brisk jog along meandering roads.



Lifestyle

Enjoy an exceptional lifestyle with 4 local golf courses, restaurants, leisure clubs and many sporting facilities. Drogheda offers activities for every member of the family.

Shopping

Close to three shopping centres, several retail parks and many convenience stores. West Street is the retail heart of Drogheda with most of the major retail stores represented.



Education

A short walk from Linenfield lies the outstanding Ballymakenny College. A range of other schools including an enriching pre-school system are also located close by.

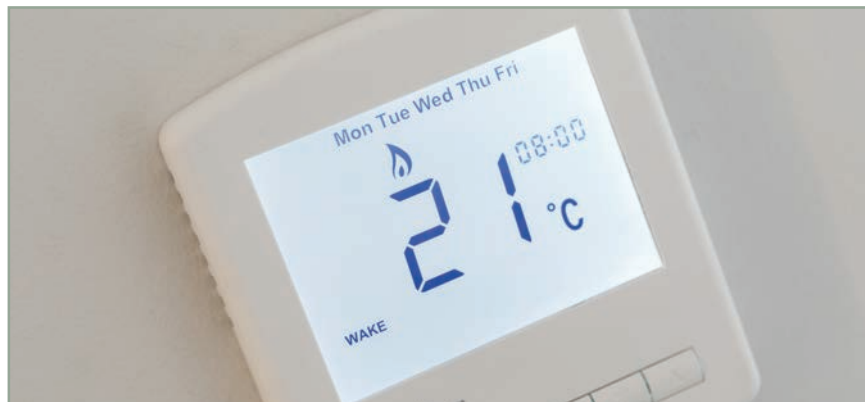


Special Features

Energy Efficiency

Linenfield homes exceed all standards in energy efficiency and are fully *NZEB compliant with an A2 building energy rating delivering maximum energy efficiency and lower utility bills.

Homes are future proofed and fitted for solar PV and electric car chargers. Airtight design and high levels of insulation to walls, floors and roofs ensure minimum heat loss and maximum energy efficiency.



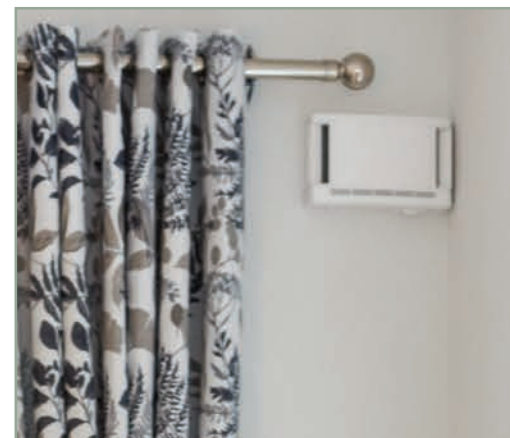
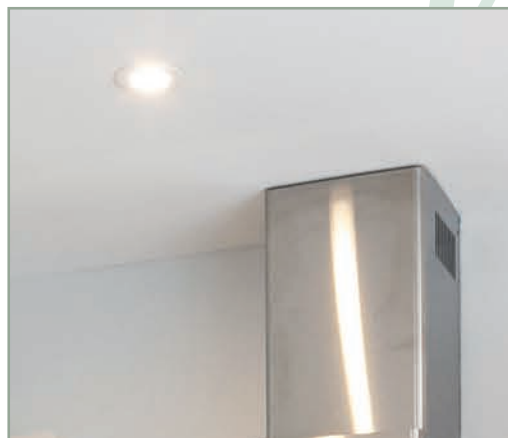
Heating & Ventilation

Enjoy the comfort and warmth of luxurious underfloor heating at ground level. An even temperature is delivered by thermostatically controlled radiators upstairs. A demand control ventilation system ensures optimum air quality and constant monitoring of pollutants, CO2 and humidity. Outstanding systems which far exceed conventional standards.



Electrical

All homes have generous and well-designed electrical and lighting installations, including recessed spotlights and pendant fittings, smoke/heat and carbon monoxide detectors.



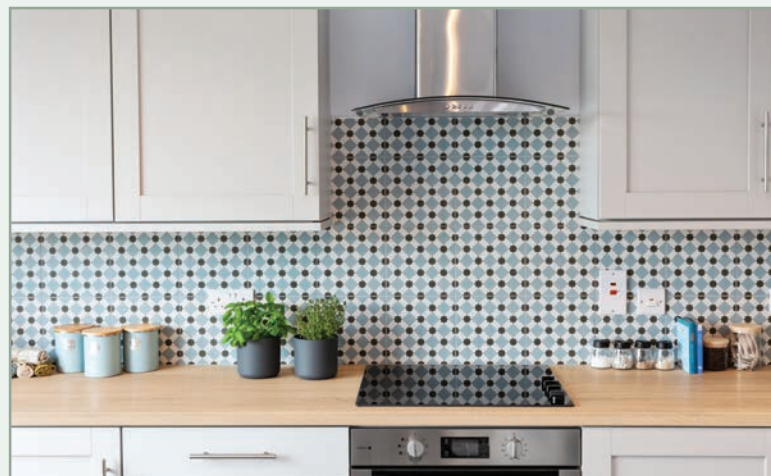
*'Nearly Zero Energy Buildings' means a building that has a very high energy performance



Special Features

Kitchens & Utility

Shaker style kitchens are supplied and fitted by Elegant Designs, Co. Offaly. Kitchen units may be personalised by a choice of colours to cabinets and worktops. Cabinet doors and drawer units are fitted with soft closers. There is a fitted extractor hood over hob, grey ceramic tiled floors and subway tiled splashback above worktops. All services are provided for the installation of dishwasher, washing machine and tumble dryer.

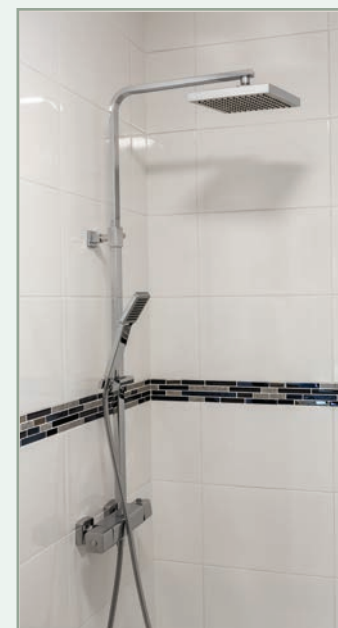
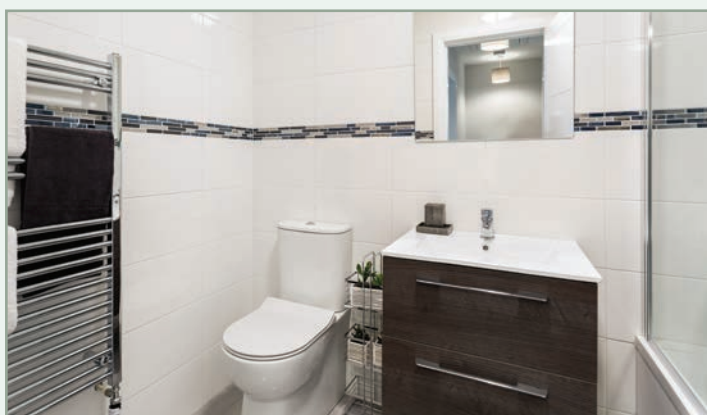


Bathrooms & En-suites

Are fitted with high quality white sanitaryware by Sonas. Complimented by chrome

fixtures and fittings, full height ceramic wall tiling with contrasting mosaic tile border. Ceramic tiling to floors. Wet room style low profile shower trays with shower screen. Heated towel rails fitted to all bathrooms, en-suites and cloakrooms. Thermostatically controlled bath/shower

mixer and handset to baths.



Bedrooms

Offer relaxation and space with quality fitted wardrobes to all bedrooms, supplied and fitted by Elegant Designs.



Special Features

Interior Finishes

Contemporary finish with glazed and/or solid core doors and polished chrome ironmongery to all rooms. Gloss paint finish to all doors, architraves and skirtings. Emulsion paint finish to walls and ceilings.

Loft ladders are a standard feature within every home.



Exterior Finishes

Highest quality external render with facing brick work and aluminium cladding ensuring low future maintenance. All gutters and fascias installed.



Special Features

Connectivity & Media

Linenfield homes exceed all connectivity standards, offering hi speed fibre broadband of 1 Gigabit. Broadband offerings are also available from a wide range of service providers. USB charging connectivity is featured in the Master Bedroom, Living Room and Kitchen.



Security

Exterior lighting to the front and rear of each home.



Gated access to side/rear garden.

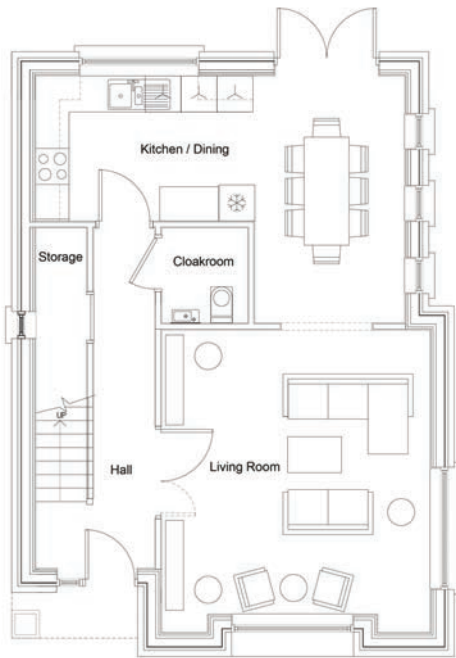


Pre-wired for the installation of intruder alarm.

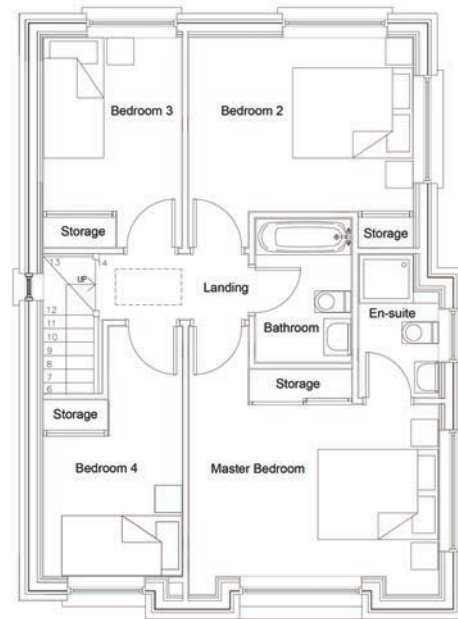
House Plans

4 Bed Detached THE ELDER

Area: 112.82m²



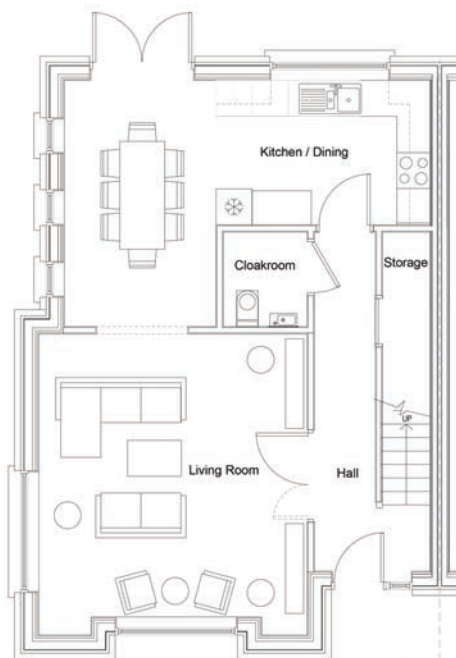
Ground Floor



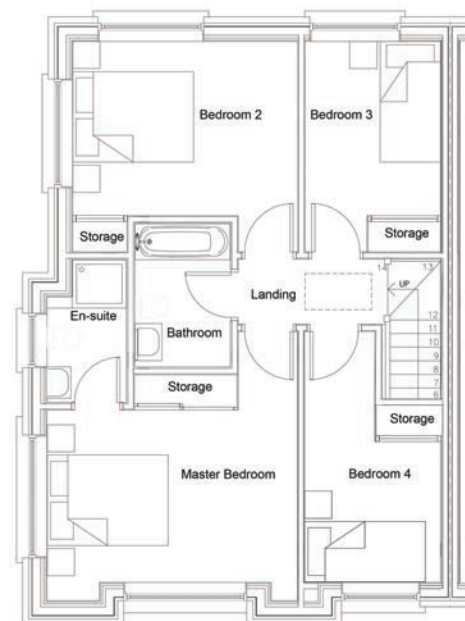
First Floor

4 Bed Semi-Detached THE WILLOW

Area: 112.82m²



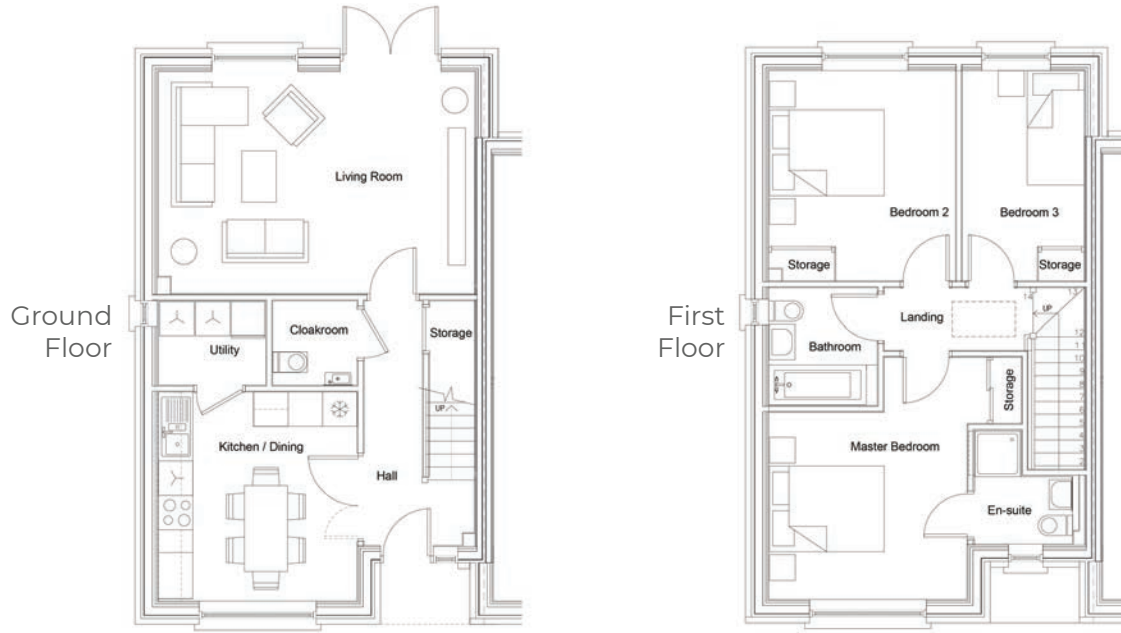
Ground Floor



First Floor

**3 Bed Semi-Detached
THE PRIMROSE**

Area: 97.76m²



**4 Bed Townhouse
THE CEDAR**

Area: 119.95m²



**3 Bed Townhouse
THE BIRCH**

Area: 103.65m²



Approximate floor area, subject to final measurements. Plans not to scale.

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HOME TYPES

 MARKETING SUITE  SHOW HOUSES

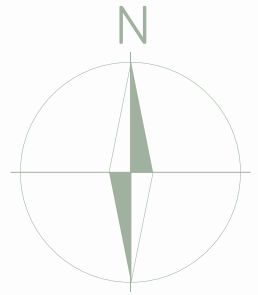


THE CEDAR
4 BED TOWNHOUSE



THE BIRCH
3 BED TOWNHOUSE

The Plan



Site Plan is for illustrative purposes. The layout may vary.



THE ELDER
4 BED DETACHED



THE PRIMROSE
3 BED SEMI-DETACHED



THE WILLOW
4 BED SEMI-DETACHED



SOLD

The location



Strategically located off the M1 motorway linking Dublin with Belfast. Linenfield is surrounded by an established mature local community amid nature, education and superb lifestyle facilities.

Linenfield

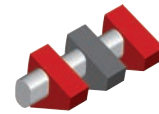
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